



## FENCE PERMIT APPLICATION CHECKLIST

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### Minimum Permit Application Requirements:

Broward County Uniform Building Permit Application (*filled out and notarized*)

Documented proof of cost, including all labor and materials (*signed contract*)

Owner Builder Affidavit- if homeowner is acting as contractor (*owner must provide proof of residency at job address and this affidavit must be notarized*)

Notice of commencement (*if job value is over \$5,000*)

Easement Affidavit (*filled out and notarized*)

Site Survey showing location & height of fence and locations of gates

Fences for new or existing pools Florida Building Code Section R 4501.17 (*signed by owner and contractor, if applicable*)

Homeowners Requirements for Pool Safety Barrier prior to Final Inspection Form (*signed by homeowner, if applicable*)

City of Margate Wood & Chain Link fence requirement form (*if applicable*)

Notice of Acceptance (NOA) or signed and sealed engineer's drawings for PVC and Aluminum Fences (*if applicable*)

THE PERMIT APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE MINIMUM DOCUMENTATION  
OTHER DOCUMENTS MAY BE REQUIRED DEPENDING UPON THE JOB CONDITIONS

#### **Zoning Requirements**

Contact the City of Margate Zoning Department  
For Current Set Back & Height Restrictions  
954-968-3617

**BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION**

Revised 11-14-2025

Select One Trade: ☐ Building ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Other \_\_\_\_\_Private Provider? ☐ YES ☐ NO If yes, attach [Form # 61G20-2.005-2002-01](#)

Application Number: \_\_\_\_\_ Application Date: \_\_\_\_\_

**1**

Job Address: \_\_\_\_\_ Unit: \_\_\_\_\_ City: \_\_\_\_\_

Tax Folio No.: \_\_\_\_\_ Flood Zn: \_\_\_\_\_ BFE: \_\_\_\_\_ Floor Area: \_\_\_\_\_ Job Value: \_\_\_\_\_

Building Use: \_\_\_\_\_ Construction Type: \_\_\_\_\_ Occupancy Group: \_\_\_\_\_

Present Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Description of Work: \_\_\_\_\_

☐ New ☐ Addition ☐ Repair ☐ Alteration ☐ Demolition ☐ Revision ☐ Other: \_\_\_\_\_Legal Description: \_\_\_\_\_ ☐ Attachment**2**

Property Owner: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Owner's Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**3**

Contracting Co.: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Company Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Qualifier's Name: \_\_\_\_\_ Owner-Builder License Number: \_\_\_\_\_

☐ License Exempted per F.S. 489.117(4)(a)1 Business Tax Receipt Number: \_\_\_\_\_**4**

Architect/Engineer's Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Architect/Engineer's Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Bonding Company: \_\_\_\_\_

Bonding Company's Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Fee Simple Titleholder's Name (*If other than the owner*) \_\_\_\_\_Fee Simple Titleholder's Name  
(*If other than the owner*) \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Mortgage Lender's Name: \_\_\_\_\_

Mortgage Lender's Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION**

Job Address: \_\_\_\_\_ Unit: \_\_\_\_\_ City: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

X \_\_\_\_\_  
Signature of Property Owner or Agent (Including Contractor)

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me by means of  
\_\_\_\_ physical presence or \_\_\_\_ online notarization, this \_\_\_\_ day of

\_\_\_\_\_, 20\_\_\_\_ by

\_\_\_\_\_  
(Type/Print Property Owner or Agent Name)

\_\_\_\_\_  
NOTARY'S SIGNATURE as to Owner or Agent's Signature

Notary Name \_\_\_\_\_  
(Print, Type or Stamp Notary's Name)

Personally Known \_\_\_\_\_ Produced Identification \_\_\_\_\_

Type of Identification Produced \_\_\_\_\_

X \_\_\_\_\_  
Signature of Qualifier

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me by means of  
\_\_\_\_ physical presence or \_\_\_\_ online notarization, this \_\_\_\_ day of

\_\_\_\_\_, 20\_\_\_\_ by

\_\_\_\_\_  
(Type/Print Qualifier or Agent Name)

\_\_\_\_\_  
NOTARY'S SIGNATURE as to Qualifier or Agent's Signature

Notary Name \_\_\_\_\_  
(Print, Type or Stamp Notary's Name)

Personally Known \_\_\_\_\_ Produced Identification \_\_\_\_\_

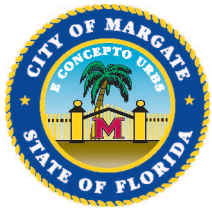
Type of Identification Produced \_\_\_\_\_

APPROVED BY: \_\_\_\_\_ Permit Officer Issue Date: \_\_\_\_\_ Code in Effect: \_\_\_\_\_  
FOR OFFICE USE ONLY FOR OFFICE USE ONLY FOR OFFICE USE ONLY

**A jurisdiction may use a supplemental page to request additional information and cite other conditions. Please inquire.**

Note: If any development work as described in FS 380.04 Sec. 2 a-g is to be performed, a development permit must be obtained prior to the issuance of a building permit.

\*\*\*Issuance of a building permit by the City of Margate does not guarantee that the work permitted is allowed by your homeowner's association. The homeowner and/or contractor is responsible for obtaining their approval separately.\*\*\*



## OWNER-BUILDER COST VERIFICATION FORM

**PLEASE NOTE THAT THIS FORM IS ONLY TO BE USED BY AN OWNER BUILDER.  
ALL OTHERS MUST PROVIDE PROOF OF COST, eg: Contract, Agreement, etc.**

PERMIT # \_\_\_\_\_

ADDRESS: \_\_\_\_\_ MARGATE, FL

### **COST TO COMPLETE WORK FOR THIS PERMIT**

**Please note: a VALID amount must be entered for both labor and materials,  
regardless of who is doing the work.**

**LABOR:** \_\_\_\_\_

(PROVIDE BREAKDOWN BY HOURS/DAYS REQUIRED TO COMPLETE WORK)

**MATERIALS:** \_\_\_\_\_

(PROVIDE RECEIPTS OR OTHER VERIFICATION)

**TOTAL:** \_\_\_\_\_

**SIGNED BY HOMEOWNER:** \_\_\_\_\_

**DATE:** \_\_\_\_\_



WARNING

## Pulling an Owner/Builder Permit is Risky Business!

If you do not intend to do the work yourself and have been asked by someone without a contractor's license to pull the permit, you are at risk of financial harm.

**Section 489.103 (7), Florida Statutes** requires that when property owners act as their own contractor, they must supervise the work being performed. Any person working on your building who is not licensed must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee.

Without workers' compensation insurance, you could be held liable for injuries incurred on your property. Typically, your homeowners' insurance policy will not honor your claim if the work being performed required a licensed contractor. You could end up responsible for thousands of dollars of medical bills.



**Not only is it dangerous, but it's against the law.**

**Section 455.227(1)(j), Florida Statutes** prohibits any person from aiding, assisting, procuring, employing or advising any unlicensed person or entity. Individuals who aid unlicensed persons may face fines of up to \$5,000.

## Is it worth it?

For more information, speak with your local building department before you apply for a permit or contact the Department of Business and Professional Regulation at 866.532.1440 or online at [www.MyFloridaLicense.com](http://www.MyFloridaLicense.com)



## OWNER BUILDER STATEMENT/AFFIDAVIT

OWNER NAME: \_\_\_\_\_  
SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_  
STREET ADDRESS: \_\_\_\_\_

**IMPORTANT!** Proof of ownership is required in the form of a deed or homestead exemption and a Florida ID.

I am applying for a Building Permit pursuant to the Owner Builder exemption set forth in Florida Statute 489.103. Florida law requires that I attest to the following statements.

**BY SIGNING THIS STATEMENT, I ATTEST THAT:** *(Initial to the left of each statement)*

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 1-850-487-1395 or at [www.myfloridalicense.com/dbpr/pro/cilb](http://www.myfloridalicense.com/dbpr/pro/cilb) for more information about licensed contractors.



## OWNER BUILDER STATEMENT/AFFIDAVIT

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the address given on this form.

I agree to notify the Building Division immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure.

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Check below the types of permits you are seeking:

Building

Roofing / Reroofing

Electrical

Plumbing

Air Conditioning

Other \_\_\_\_\_

I, \_\_\_\_\_, do hereby state that I am qualified and capable of  
Type/Print Owner's Name  
performing the requested construction involved with the permit application filed and agree to the conditions specified above.

\_\_\_\_\_  
Signature of Owner-Builder

STATE OF FLORIDA - COUNTY OF \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me by means of ☐ physical presence or ☐ online notarization, this \_\_\_\_\_  
day of \_\_\_\_\_ month, 20\_\_\_\_, by \_\_\_\_\_.  
Name of person making statement

Commission Stamp of Notary Public:

\_\_\_\_\_  
Signature of Notary Public – State of Florida

Personally Known OR Produced Identification

Type of Identification Produced: \_\_\_\_\_

PERMIT NUMBER: \_\_\_\_\_

### **NOTICE OF COMMENCEMENT**

The undersigned hereby given notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes the following information is provided in the Notice of Commencement.

**1. DESCRIPTION OF PROPERTY** (Legal description & street address, if available) **TAX FOLIO NO.:** \_\_\_\_\_

**SUBDIVISION** \_\_\_\_\_ **BLOCK** \_\_\_\_\_ **TRACT** \_\_\_\_\_ **LOT** \_\_\_\_\_ **BLDG** \_\_\_\_\_ **UNIT** \_\_\_\_\_

**2. GENERAL DESCRIPTION OF IMPROVEMENT:** \_\_\_\_\_

**3. OWNER INFORMATION:** a. Name \_\_\_\_\_

b. Address \_\_\_\_\_ c. Interest in property \_\_\_\_\_

d. Name and address of fee simple titleholder (if other than Owner) \_\_\_\_\_

**4. CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER:** \_\_\_\_\_

**5. SURETY'S NAME, ADDRESS AND PHONE NUMBER AND BOND AMOUNT:** \_\_\_\_\_

**6. LENDER'S NAME, ADDRESS AND PHONE NUMBER:** \_\_\_\_\_

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

**NAME, ADDRESS AND PHONE NUMBER:** \_\_\_\_\_

8. In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes:

**NAME, ADDRESS AND PHONE NUMBER:** \_\_\_\_\_

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified): \_\_\_\_, 20\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

\_\_\_\_\_  
**Signature of Owner or  
Owner's Authorized Officer/Director/Partner/Manager**  
State of Florida  
County of Broward

\_\_\_\_\_  
**Print Name and Provide Signatory's Title/Office**

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

By \_\_\_\_\_, as \_\_\_\_\_  
(name of person) (type of authority, ...e.g. officer, trustee, attorney in fact)

For\_\_\_\_ (name of party on behalf of whom instrument was executed)

\_\_\_\_ Personally known or \_\_\_\_\_ produced the following type of identification: \_\_\_\_\_

Notary

\_\_\_\_\_  
(Signature of Notary Public)

Under Penalties of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief (Section 92.525, Florida Statutes).

**Signature(s) of Owner(s) or Owner(s)' Authorized Officer/ Director / Partner/Manager who signed above:**

By \_\_\_\_\_ By \_\_\_\_\_





## EASEMENT AFFIDAVIT

What is an easement?

**Easement Definition:** “A right of use or control of a section of property granted for a designated purpose.” Code of Ordinances of the City of Margate, §40.201(C).

What does this mean?

It means that there is a place on the property where someone has the right to use that part of it for the purpose that the easement was dedicated. Easements can be for access, drainage, canal maintenance, lake maintenance, or utilities. No accessory structures such as sheds or swimming pools may be located within a recorded easement.

Why is an easement affidavit required?

So that a property owner acknowledges their responsibility for constructing something in an easement and the easement holder's rights. If anything in the easement is damaged or what is built needs to be removed to use the easement, the expense falls on the property owner.

**Drainage, canal, or lake maintenance easements.** These are critical for flood control maintenance and permission is required from the easement holder before we can issue a permit. Below are the possible entities that permission is needed to construct anything in these types of easements.

- City of Margate, Florida (DEES): 901 NW 66<sup>th</sup> Ave., Suite A, Margate, FL 33063  
Email: [deesadmin@margatefl.com](mailto:deesadmin@margatefl.com)
- [Cocomar Water Control District](#): Susan Bodmann, PG, PMP [sbodmann@broward.org](mailto:sbodmann@broward.org)
- [South Florida Water Management District](#) • [Sunshine Water Control District](#)

## EASEMENT AFFIDAVIT SUBMISSION REQUIREMENTS

- ☐ **Survey:** Legible survey that is a minimum 300 dpi that shows the location of all existing structures, paved areas, and recorded easements on the property.
- ☐ **Proof of Owner Authorization:** If the property is owned by a corporation an authorized agent registered with the State of Florida as listed on [www.sunbiz.org](http://www.sunbiz.org) must be the person that signs and the record from [www.sunbiz.org](http://www.sunbiz.org) must be provided. If the person signing is not listed as an authorized agent, then a corporate resolution showing that person is authorized to sign on behalf of the corporation may be provided.
- ☐ **Easement Holder Signature:** Required only for construction in drainage, canal, or lake maintenance easements.



## EASEMENT AFFIDAVIT

I hereby certify that I am the owner or authorized signatory of the property located at \_\_\_\_\_,

and I propose to apply for a building permit to construct a \_\_\_\_\_

in the ☐ Utility Easement ☐ Drainage Easement ☐ Canal Maintenance Easement at my property shown on the attached survey. I understand that the City of Margate has no liability for issuing a building permit for this construction to take place, and that the utility provider or easement holder will not be responsible in any way for repairs to, or replacement of, any portion of it and that any removal and replacement of this construction necessary for the use of this easement will be done at the property owner's expense. Further understanding that the owner will assume full responsibility for any damage incurred to the utility provider's or easement holder's facilities during the construction.

\_\_\_\_\_  
Print owner's or authorized signatory name

\_\_\_\_\_  
Signature of owner or authorized signatory

\_\_\_\_\_  
Phone number

\_\_\_\_\_  
E-mail

STATE OF FLORIDA COUNTY OF \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me by means of ☐ physical presence or ☐ online notarization, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_ (year), by \_\_\_\_\_ (print name of person making statement).

\_\_\_\_\_  
(Signature of Notary Public - State of Florida)

\_\_\_\_\_  
(Print, Type, or Stamp Commissioned Name of Notary Public)

☐ Personally Known OR ☐ Produced Identification

Type of Identification Produced \_\_\_\_\_

### **Drainage, Canal or Lake Maintenance Easements:**

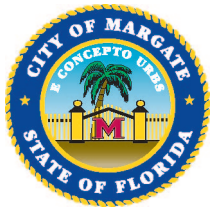
We ☐ agree ☐ disagree that the proposed construction may take place within the easement subject to these conditions: \_\_\_\_\_

Name of Easement Holder: \_\_\_\_\_

Date: \_\_\_\_\_

Representative: \_\_\_\_\_

Title: \_\_\_\_\_



## FENCES FOR NEW OR EXISTING POOLS FLORIDA BUILDING CODE 2023, CHAPTER 45

R4501.17.1.4 Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches, the horizontal members shall be located on the swimming pool side of the fence. Spacing between the vertical members shall not exceed 1-3/4" in width. Where there are decorative cutouts within the vertical members, spacing within the cutouts shall not exceed 1-3/4" in width.

R4501.17.1.5 Where the barrier is composed of horizontal members and the distance between the tops of the horizontal members is 45 inches or more, spacing between vertical members shall not exceed 4 inches. Where there are decorative cutouts within vertical members, spacing in the cutouts shall not exceed 1-3/4 inches.

R4501.17.1.6 Maximum mesh size for chain link fences shall be 2-1/4" square unless the fence is provided with slats fastened at the top or bottom which reduce the openings to no more than 1-3/4 inches.

R4501.17.1.7 Where the barrier is composed of diagonal members, the maximum opening formed by the diagonal members shall not be more than 1-3/4 inches.

R4501.17.1.8 Access gates, when provided, shall be self closing and shall comply with the requirements of Sections R4101.17.1.1 through R4101.17.1.7 and shall be equipped with a self latching locking device located on the pool side of the gate. Where the device release is located no less than 54 inches from the bottom of the gate, the release mechanism may be located on either side of the gate and so placed that it cannot be reached by a young child over the top or through any opening or gap from the outside. Gates that provide access to the swimming pool must open outward away from the pool. The gates and barrier shall have no opening greater than ½ inch within 18 inches of the release mechanism.

**I/WE THE UNDERSIGNED HAVE READ AND UNDERSTAND THE REQUIREMENTS OF THE FLORIDA BUILDING CODES FOR FENCE INSTALLATIONS**

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**Owner's Signature**

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**Contractor's Signature**



# HOMEOWNERS REQUIREMENTS FOR POOL SAFETY BARRIER PRIOR TO FINAL INSPECTION

## POOL BARRIER REQUIREMENTS ALSO APPLY TO WINDOW/DOOR PERMITS

In an effort to provide for compliance with the **Preston de Ibern/McKenzie Merriam Residential Swimming Pool Safety Act**, which had an effective date of October 1, 2000, the **City of Margate** will review all Permit applications, which involve homes with pools, for compliance with F.S. 515.27.

(Statute included for reference)

### **515.27 Residential swimming pool safety feature options; penalties.-**

- (1) In order to pass final inspection and receive a certificate of completion, a residential swimming pool must meet at least one of the following requirements relating to pool safety features:
- (a) The pool must be isolated from access to a home by an enclosure that meets the pool barrier requirements of s. 515.29;
  - (b) The pool must be equipped with an approved safety pool cover;
  - (c) All doors and windows providing direct access from the home to the pool must be equipped with an exit alarm that has a minimum sound pressure rating of 85 dBA at 10 feet; (UL 2017)
  - (d) All doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor; or
  - (e) A swimming pool alarm that, when placed in a pool, sounds an alarm upon detection of an accidental or unauthorized entrance into the water. Such pool alarm must meet, and be independently certified to ASTM Standard F2208, titled "Standard Safety Specification for Residential Pool Alarms," which includes surface motion, pressure, sonar, laser, and infrared alarms. For purposes of this paragraph, the term "swimming pool alarm" does not include any swimming protection alarm device designed for individual use, such as an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water.
- (2) A person who fails to equip a new residential swimming pool with at least one pool safety feature as required in subsection (1) commits a misdemeanor of the second degree, punishable as provided in s. 775.082 or s. 775.083, except that no penalty shall be imposed if the person, within 45 days after arrest or issuance of a summons or a notice to appear, has equipped the pool with at least one safety feature as required in subsection (1) and has attended a drowning prevention education program established by s. 515.31. However, the requirement of attending a drowning prevention education program is waived if such program is not offered within 45 days after issuance of the citation.

All windows and doors that are components of the pool safety barrier, as required by F.S. 515.27, must be identified in the permit documents and will be evaluated for compliance at the final inspection. If the means of compliance does not involve the windows and/or doors, the compliance method will need to be in place and working at the time of the final inspection.

If your pool received a final prior to the effective date of the safety act then it is not statutorily required to meet the requirements of the Safety Act, however, be aware that the **City of Margate strongly encourages the implementation of these safety measures** as added protection for our residents.

If you have **NO POOL**, please check this box:

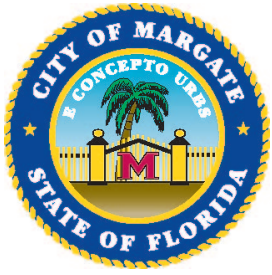
If you have a **POOL**, please check this box:

Owner's Name: \_\_\_\_\_

Owner's Address: \_\_\_\_\_

**SIGNATURE:** \_\_\_\_\_

**DATE:** \_\_\_\_\_



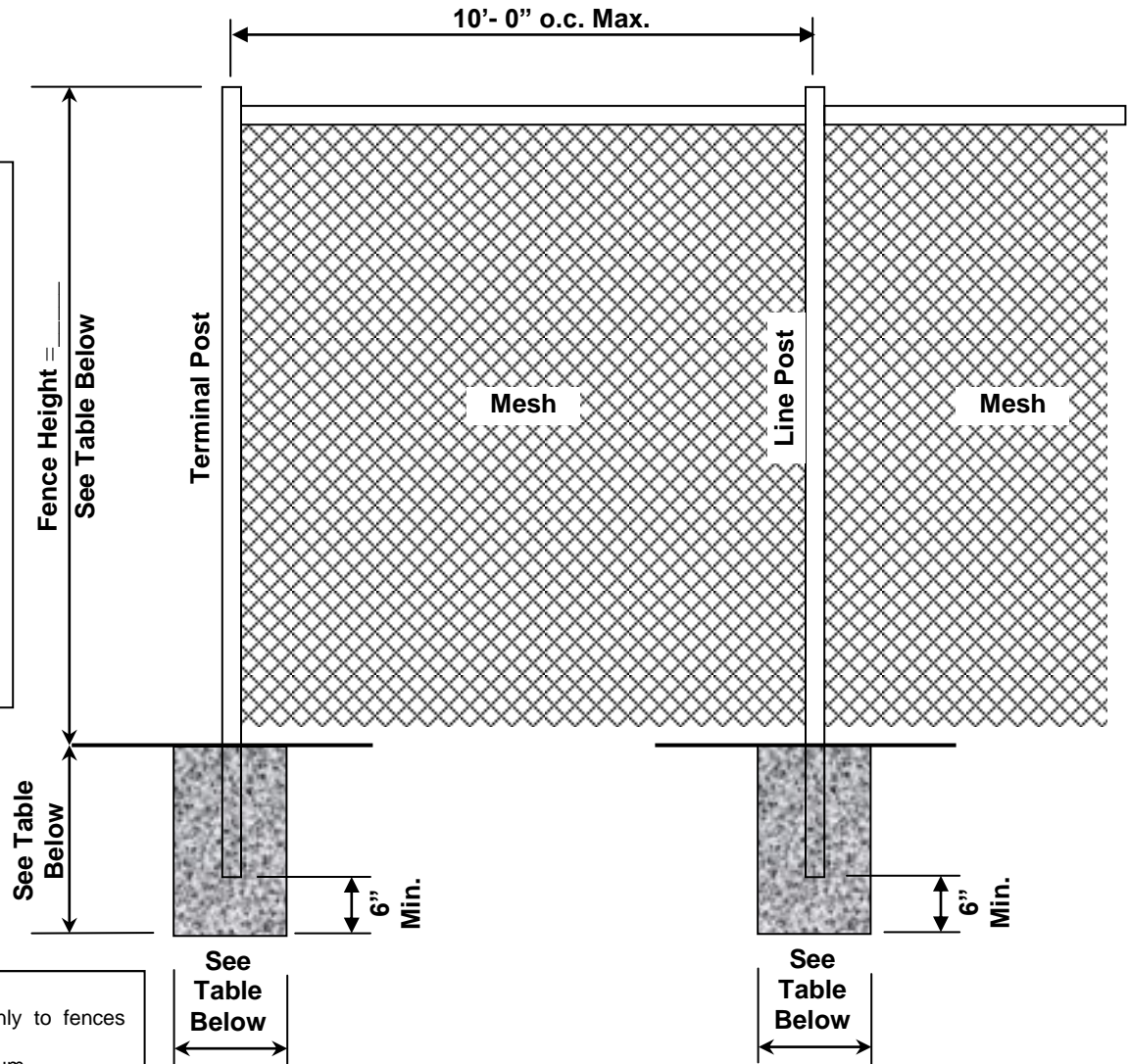
# CHAIN LINK FENCE DESIGN DETAIL

N.T.S.

(ACCORDING TO THE F.B.C. 2023 SECTION 2224)

## Notice to Properties with Pools:

If the fence is to meet the criteria as a **pool barrier**, the fence shall not be climbable and all rails must be placed facing the inside of the property. Pedestrian gates shall have self-closing and latching devices installed at a minimum of 54" above ground. For further details see Section 454 of FBC.



## General Notes:

1. This table is applicable only to fences with unrestricted airflow.
2. Fabric: 12-1/2 gauge minimum.
3. Tension Bands: Use one less than the height of the fence in feet, evenly spaced.
4. Fabric Ties: Must be minimum the same gauge of the fabric.
5. Fabric Tie Spacing on the Top Rail: Five ties between posts, evenly spaced.
6. Fabric Tie Spacing on Line Posts: One less than height of the fence in feet, evenly spaced.
7. Either top rail or top tension wire shall be used.
8. Braces must be used at Terminal Post if top tension wire is used instead of Top Rail.
9. Post Spacing: 10' o.c. maximum.
10. Post shall embed to within 6" of bottom of the foundation.
11. In order to follow the contour of the land, the bottom of the fence may clear the contour of the ground by up to 5 inch without increasing table values to the next higher limit.

**Table 2224**  
**Chain Link Fence Minimum Requirements**

Fence Height	Terminal Post Size & Thick	Terminal Post Footing	Line Post Size & Thick	Line Post Footing
Up to 4'	2-3/8" x 0.042	10" x 24"	1-5/8" x 0.047	8" x 24"
Over 4' to 5'	2-3/8" x 0.042	10" x 24"	1-7/8" x 0.055	8" x 24"
Over 5' to 6'	2-3/8" x 0.042	10" x 24"	1-7/8" x 0.065	8" x 24"
Over 6' to 8'	2-3/8" x 0.110	10" x 24"	2-3/8" x 0.095	10" x 36"
Over 8' to 10'	2-7/8" x 0.110	12" x 40"	2-3/8" x 0.130	10" x 40"
Over 10' to 12'	2-7/8" x 0.160	12" x 42"	2-7/8" x 0.120	12" x 42"
Over 12'	Section 2224.1 FBC: Fences over 12' height shall be designed according to the loads specified in Chapter 16 (HVHZ).			

# WOOD FENCE REQUIREMENTS AS PER FBC 2023

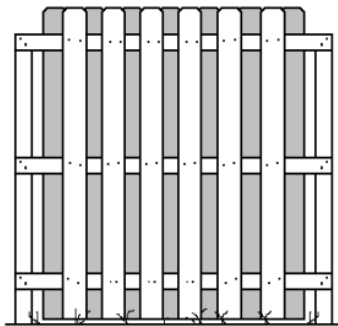


## Wood Fence Criteria:

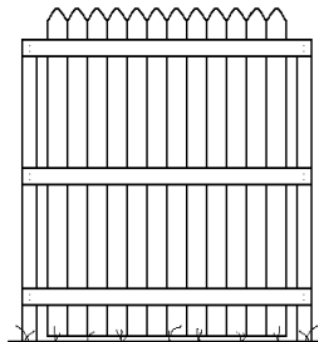
- Wood fences shall be constructed of decay and termite-resistant material as specified in FBC Section 2328.
- Wood fences shall be designed according to the loads as specified in FBC Section 2328.
- Vertical post of P.T. 4" x 4" spaced per diagram.
- Post shall be embedded 2'0" deep in concrete in a 10" diameter hole.
- Horizontal framing shall consist of a minimum of 3 horizontal rails of 2" x 4" P.T. material and shall be fastened with two #16D galvanized nails at each post.
- All lumber shall be a minimum of #2 grade or better.
- All fasteners shall be corrosion resistant.
- NOTE: All PVC, Metal, Aluminum and Plastic Fences require Product Approval or Engineering

**WARNING:** Pre-manufactured sections may not comply with this code.  
'Product Approval' or an engineering detail may be required.

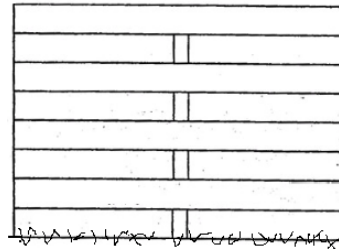
## CIRCLE THE PROPOSED FENCE STYLE:



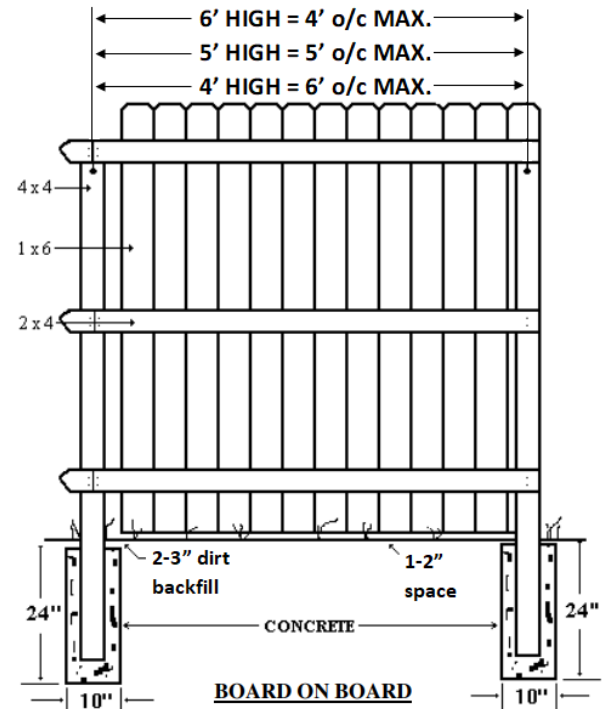
**SHADOW BOX**



**STOCKADE**

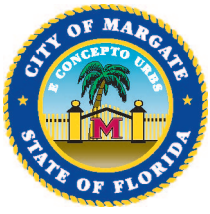


**BASKET WEAVE**



FBC 454.2.17.1.8 Access gates, when provided, shall be self-closing, self-latching and shall comply with the requirements of Sections 454.2.17.1.1 through 454.2.17.1.7 and shall be equipped with a self-latching locking device located on the pool side of the gate. Where the device release is located no less than 54 inches (1372 mm) from the bottom of the gate, the device release mechanism may be located on either side of the gate and so placed that it cannot be reached by a young child over the top or through any opening or gap from the outside. Gates that provide access to the swimming pool must open outward away from the pool. The gates and barrier shall have no opening greater than ½ inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.

Margate Code of Ordinances 3.14(17) Fences and walls shall be erected up to the property line. All fences shall be installed so that the structural side of the fence or wall shall be visible from the owner's side. Barbed, razor or similar type wire and broken glass is prohibited in all zoning districts.



# SECURE THIS JOB

**DURING A HURRICANE WATCH  
& BEFORE THE ONSET OF HURRICANE VELOCITY WINDS  
YOU ARE REQUIRED TO **SECURE THIS JOB****

**IN ACCORDANCE WITH THE BOARD COUNTY ADMINISTRATIVE PROVISIONS  
OF THE FLORIDA BUILDING CODE SECTION 110.13**

**All loose objects  
in exposed outdoor locations  
shall be lashed to rigid construction  
or shall be stored in buildings.**

**Florida Building Code Broward County Administrative Provisions  
Section 110.13.2**

**NOTICES ISSUED BY THE NATIONAL WEATHER SERVICE OF A HURRICANE WATCH ARE DEEMED SUFFICIENT NOTICE  
TO THE OWNER OF REAL PROPERTY UPON WHICH CONSTRUCTION IS OCCURRING, OR ANY CONTRACTOR  
RESPONSIBLE FOR SAID CONSTRUCTION, TO SECURE LOOSE CONSTRUCTION DEBRIS AND LOOSE CONSTRUCTION  
MATERIALS AGAINST EFFECTS OF HURRICANE FORCE WINDS.**

**THIS INCLUDES BUT IS NOT LIMITED TO:**

<b>110.13.2.1 Road Right-of-Way shall remain clear of construction waste and trash</b>	
<b>110.13.2.2 Construction Waste and Trash Contained</b>	<b>110.13.2.3 Construction Materials; Loose Construction Debris; Roofing Tile &amp; Materials; Temporary Electric Service Poles; Temporary Toilets and Temporary Construction Trailer</b>
<b>AND PROTECT ALL GLASS AREAS</b>	