



## DRIVEWAYS, WALKWAYS AND PATIOS PERMIT APPLICATION CHECKLIST

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### Minimum Permit Application Requirements:

Broward County Uniform Building Permit Application (*filled out and notarized*)

Documented proof of cost, including all trades (*signed contract*)

Owner Builder Affidavit- if homeowner is acting as contractor (*owner must provide proof of residency at job address and this affidavit must be notarized*)

Notice of commencement (*if job value is over \$5,000*)

Easement Affidavit (*filled out and notarized*)

Site Survey showing all easements and marked out proposed location of Driveway, Walkway and/or Patio

Driveway and Patio Requirements

Paver Installation Instructions (*if pavers are used*)

Notice of Acceptance (NOA) for fibermesh (*if fibermesh is used*)

Dig ticket must be provided; go to "sunshine811.com"

**\* ALL ASPHALT, CONCRETE AND PAVER DRIVEWAYS SHALL BE INSTALLED OVER A MINIMUM 4" OF THOROUGHLY COMPACTED ROAD ROCK, FREE FROM ORGANICS, DEBRIS & OTHER DELETERIOUS MATERIALS \***

**\* ALL DISTURBED AREAS MUST BE RESTORED WITH SOD \***

THE PERMIT APPLICATION WILL NOT BE ACCEPTED WITHOUT THE ABOVE MINIMUM DOCUMENTATION  
OTHER DOCUMENTS MAY BE REQUIRED DEPENDING UPON THE JOB CONDITIONS

**BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION**

Revised 11-14-2025

Select One Trade: ☐ Building ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Other \_\_\_\_\_Private Provider? ☐ YES ☐ NO If yes, attach [Form # 61G20-2.005-2002-01](#)

Application Number: \_\_\_\_\_ Application Date: \_\_\_\_\_

**1**

Job Address: \_\_\_\_\_ Unit: \_\_\_\_\_ City: \_\_\_\_\_

Tax Folio No.: \_\_\_\_\_ Flood Zn: \_\_\_\_\_ BFE: \_\_\_\_\_ Floor Area: \_\_\_\_\_ Job Value: \_\_\_\_\_

Building Use: \_\_\_\_\_ Construction Type: \_\_\_\_\_ Occupancy Group: \_\_\_\_\_

Present Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Description of Work: \_\_\_\_\_

☐ New ☐ Addition ☐ Repair ☐ Alteration ☐ Demolition ☐ Revision ☐ Other: \_\_\_\_\_Legal Description: \_\_\_\_\_ ☐ Attachment**2**

Property Owner: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Owner's Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**3**

Contracting Co.: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Company Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Qualifier's Name: \_\_\_\_\_ Owner-Builder License Number: \_\_\_\_\_

☐ License Exempted per F.S. 489.117(4)(a)1 Business Tax Receipt Number: \_\_\_\_\_**4**

Architect/Engineer's Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Architect/Engineer's Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Bonding Company: \_\_\_\_\_

Bonding Company's Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Fee Simple Titleholder's Name (*If other than the owner*) \_\_\_\_\_Fee Simple Titleholder's Name  
(*If other than the owner*) \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Mortgage Lender's Name: \_\_\_\_\_

Mortgage Lender's Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

**BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION**

Job Address: \_\_\_\_\_ Unit: \_\_\_\_\_ City: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

X \_\_\_\_\_  
Signature of Property Owner or Agent (Including Contractor)

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me by means of  
\_\_\_\_ physical presence or \_\_\_\_ online notarization, this \_\_\_\_ day of

\_\_\_\_\_, 20\_\_\_\_ by

\_\_\_\_\_  
(Type/Print Property Owner or Agent Name)

\_\_\_\_\_  
NOTARY'S SIGNATURE as to Owner or Agent's Signature

Notary Name \_\_\_\_\_  
(Print, Type or Stamp Notary's Name)

Personally Known \_\_\_\_\_ Produced Identification \_\_\_\_\_

Type of Identification Produced \_\_\_\_\_

X \_\_\_\_\_  
Signature of Qualifier

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me by means of  
\_\_\_\_ physical presence or \_\_\_\_ online notarization, this \_\_\_\_ day of

\_\_\_\_\_, 20\_\_\_\_ by

\_\_\_\_\_  
(Type/Print Qualifier or Agent Name)

\_\_\_\_\_  
NOTARY'S SIGNATURE as to Qualifier or Agent's Signature

Notary Name \_\_\_\_\_  
(Print, Type or Stamp Notary's Name)

Personally Known \_\_\_\_\_ Produced Identification \_\_\_\_\_

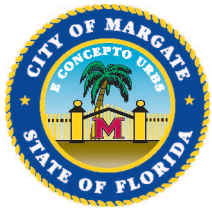
Type of Identification Produced \_\_\_\_\_

APPROVED BY: \_\_\_\_\_ Permit Officer Issue Date: \_\_\_\_\_ Code in Effect: \_\_\_\_\_  
FOR OFFICE USE ONLY FOR OFFICE USE ONLY FOR OFFICE USE ONLY

**A jurisdiction may use a supplemental page to request additional information and cite other conditions. Please inquire.**

Note: If any development work as described in FS 380.04 Sec. 2 a-g is to be performed, a development permit must be obtained prior to the issuance of a building permit.

\*\*\*Issuance of a building permit by the City of Margate does not guarantee that the work permitted is allowed by your homeowner's association. The homeowner and/or contractor is responsible for obtaining their approval separately.\*\*\*



## OWNER-BUILDER COST VERIFICATION FORM

**PLEASE NOTE THAT THIS FORM IS ONLY TO BE USED BY AN OWNER BUILDER.  
ALL OTHERS MUST PROVIDE PROOF OF COST, eg: Contract, Agreement, etc.**

PERMIT # \_\_\_\_\_

ADDRESS: \_\_\_\_\_ MARGATE, FL

### **COST TO COMPLETE WORK FOR THIS PERMIT**

**Please note: a VALID amount must be entered for both labor and materials,  
regardless of who is doing the work.**

**LABOR:** \_\_\_\_\_

(PROVIDE BREAKDOWN BY HOURS/DAYS REQUIRED TO COMPLETE WORK)

**MATERIALS:** \_\_\_\_\_

(PROVIDE RECEIPTS OR OTHER VERIFICATION)

**TOTAL:** \_\_\_\_\_

**SIGNED BY HOMEOWNER:** \_\_\_\_\_

**DATE:** \_\_\_\_\_



WARNING

## Pulling an Owner/Builder Permit is Risky Business!

If you do not intend to do the work yourself and have been asked by someone without a contractor's license to pull the permit, you are at risk of financial harm.

**Section 489.103 (7), Florida Statutes** requires that when property owners act as their own contractor, they must supervise the work being performed. Any person working on your building who is not licensed must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee.

Without workers' compensation insurance, you could be held liable for injuries incurred on your property. Typically, your homeowners' insurance policy will not honor your claim if the work being performed required a licensed contractor. You could end up responsible for thousands of dollars of medical bills.



**Not only is it dangerous, but it's against the law.**

**Section 455.227(1)(j), Florida Statutes** prohibits any person from aiding, assisting, procuring, employing or advising any unlicensed person or entity. Individuals who aid unlicensed persons may face fines of up to \$5,000.

## Is it worth it?

For more information, speak with your local building department before you apply for a permit or contact the Department of Business and Professional Regulation at 866.532.1440 or online at [www.MyFloridaLicense.com](http://www.MyFloridaLicense.com)



## OWNER BUILDER STATEMENT/AFFIDAVIT

OWNER NAME: \_\_\_\_\_  
SUBDIVISION: \_\_\_\_\_ LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_  
STREET ADDRESS: \_\_\_\_\_

**IMPORTANT!** Proof of ownership is required in the form of a deed or homestead exemption and a Florida ID.

I am applying for a Building Permit pursuant to the Owner Builder exemption set forth in Florida Statute 489.103. Florida law requires that I attest to the following statements.

**BY SIGNING THIS STATEMENT, I ATTEST THAT:** *(Initial to the left of each statement)*

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 1-850-487-1395 or at [www.myfloridalicense.com/dbpr/pro/cilb](http://www.myfloridalicense.com/dbpr/pro/cilb) for more information about licensed contractors.



## OWNER BUILDER STATEMENT/AFFIDAVIT

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the address given on this form.

I agree to notify the Building Division immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure.

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Check below the types of permits you are seeking:

Building

Roofing / Reroofing

Electrical

Plumbing

Air Conditioning

Other \_\_\_\_\_

I, \_\_\_\_\_, do hereby state that I am qualified and capable of performing the requested construction involved with the permit application filed and agree to the conditions specified above.

Type/Print Owner's Name

\_\_\_\_\_  
Signature of Owner-Builder

STATE OF FLORIDA - COUNTY OF \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me by means of ☐ physical presence or ☐ online notarization, this \_\_\_\_\_ day of \_\_\_\_\_ month, 20\_\_\_\_, by \_\_\_\_\_.

Name of person making statement

Commission Stamp of Notary Public:

\_\_\_\_\_  
Signature of Notary Public – State of Florida

Personally Known OR Produced Identification

Type of Identification Produced: \_\_\_\_\_

PERMIT NUMBER: \_\_\_\_\_

### **NOTICE OF COMMENCEMENT**

The undersigned hereby given notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes the following information is provided in the Notice of Commencement.

**1. DESCRIPTION OF PROPERTY** (Legal description & street address, if available) **TAX FOLIO NO.:** \_\_\_\_\_

**SUBDIVISION** \_\_\_\_\_ **BLOCK** \_\_\_\_\_ **TRACT** \_\_\_\_\_ **LOT** \_\_\_\_\_ **BLDG** \_\_\_\_\_ **UNIT** \_\_\_\_\_

**2. GENERAL DESCRIPTION OF IMPROVEMENT:** \_\_\_\_\_

**3. OWNER INFORMATION:** a. Name \_\_\_\_\_

b. Address \_\_\_\_\_ c. Interest in property \_\_\_\_\_

d. Name and address of fee simple titleholder (if other than Owner) \_\_\_\_\_

**4. CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER:** \_\_\_\_\_

**5. SURETY'S NAME, ADDRESS AND PHONE NUMBER AND BOND AMOUNT:** \_\_\_\_\_

**6. LENDER'S NAME, ADDRESS AND PHONE NUMBER:** \_\_\_\_\_

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

**NAME, ADDRESS AND PHONE NUMBER:** \_\_\_\_\_

8. In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes:

**NAME, ADDRESS AND PHONE NUMBER:** \_\_\_\_\_

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified): \_\_\_\_, 20\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

\_\_\_\_\_  
**Signature of Owner or  
Owner's Authorized Officer/Director/Partner/Manager**  
State of Florida  
County of Broward

\_\_\_\_\_  
**Print Name and Provide Signatory's Title/Office**

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

By \_\_\_\_\_, as \_\_\_\_\_  
(name of person) (type of authority, ...e.g. officer, trustee, attorney in fact)

For\_\_\_\_ (name of party on behalf of whom instrument was executed)

\_\_\_\_\_ Personally known or \_\_\_\_\_ produced the following type of identification: \_\_\_\_\_

Notary

\_\_\_\_\_  
(Signature of Notary Public)

Under Penalties of perjury, I declare that I have read the foregoing and that the facts in it are true to the best of my knowledge and belief (Section 92.525, Florida Statutes).

**Signature(s) of Owner(s) or Owner(s)' Authorized Officer/ Director / Partner/Manager who signed above:**

By \_\_\_\_\_ By \_\_\_\_\_





## EASEMENT AFFIDAVIT

What is an easement?

**Easement Definition:** “A right of use or control of a section of property granted for a designated purpose.” Code of Ordinances of the City of Margate, §40.201(C).

What does this mean?

It means that there is a place on the property where someone has the right to use that part of it for the purpose that the easement was dedicated. Easements can be for access, drainage, canal maintenance, lake maintenance, or utilities. No accessory structures such as sheds or swimming pools may be located within a recorded easement.

Why is an easement affidavit required?

So that a property owner acknowledges their responsibility for constructing something in an easement and the easement holder's rights. If anything in the easement is damaged or what is built needs to be removed to use the easement, the expense falls on the property owner.

**Drainage, canal, or lake maintenance easements.** These are critical for flood control maintenance and permission is required from the easement holder before we can issue a permit. Below are the possible entities that permission is needed to construct anything in these types of easements.

- City of Margate, Florida (DEES): 901 NW 66<sup>th</sup> Ave., Suite A, Margate, FL 33063  
Email: [deesadmin@margatefl.com](mailto:deesadmin@margatefl.com)
- [Cocomar Water Control District](#): Susan Bodmann, PG, PMP [sbodmann@broward.org](mailto:sbodmann@broward.org)
- [South Florida Water Management District](#) • [Sunshine Water Control District](#)

## EASEMENT AFFIDAVIT SUBMISSION REQUIREMENTS

- ☐ **Survey:** Legible survey that is a minimum 300 dpi that shows the location of all existing structures, paved areas, and recorded easements on the property.
- ☐ **Proof of Owner Authorization:** If the property is owned by a corporation an authorized agent registered with the State of Florida as listed on [www.sunbiz.org](http://www.sunbiz.org) must be the person that signs and the record from [www.sunbiz.org](http://www.sunbiz.org) must be provided. If the person signing is not listed as an authorized agent, then a corporate resolution showing that person is authorized to sign on behalf of the corporation may be provided.
- ☐ **Easement Holder Signature:** Required only for construction in drainage, canal, or lake maintenance easements.



## EASEMENT AFFIDAVIT

I hereby certify that I am the owner or authorized signatory of the property located at \_\_\_\_\_,

and I propose to apply for a building permit to construct a \_\_\_\_\_

in the ☐ Utility Easement ☐ Drainage Easement ☐ Canal Maintenance Easement at my property shown on the attached survey. I understand that the City of Margate has no liability for issuing a building permit for this construction to take place, and that the utility provider or easement holder will not be responsible in any way for repairs to, or replacement of, any portion of it and that any removal and replacement of this construction necessary for the use of this easement will be done at the property owner's expense. Further understanding that the owner will assume full responsibility for any damage incurred to the utility provider's or easement holder's facilities during the construction.

\_\_\_\_\_  
Print owner's or authorized signatory name

\_\_\_\_\_  
Signature of owner or authorized signatory

\_\_\_\_\_  
Phone number

\_\_\_\_\_  
E-mail

STATE OF FLORIDA COUNTY OF \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me by means of ☐ physical presence or ☐ online notarization, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_ (year), by \_\_\_\_\_ (print name of person making statement).

\_\_\_\_\_  
(Signature of Notary Public - State of Florida)

\_\_\_\_\_  
(Print, Type, or Stamp Commissioned Name of Notary Public)

☐ Personally Known OR ☐ Produced Identification

Type of Identification Produced \_\_\_\_\_

### **Drainage, Canal or Lake Maintenance Easements:**

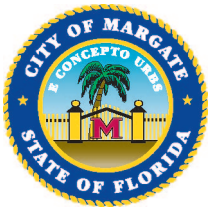
We ☐ agree ☐ disagree that the proposed construction may take place within the easement subject to these conditions: \_\_\_\_\_

Name of Easement Holder: \_\_\_\_\_

Date: \_\_\_\_\_

Representative: \_\_\_\_\_

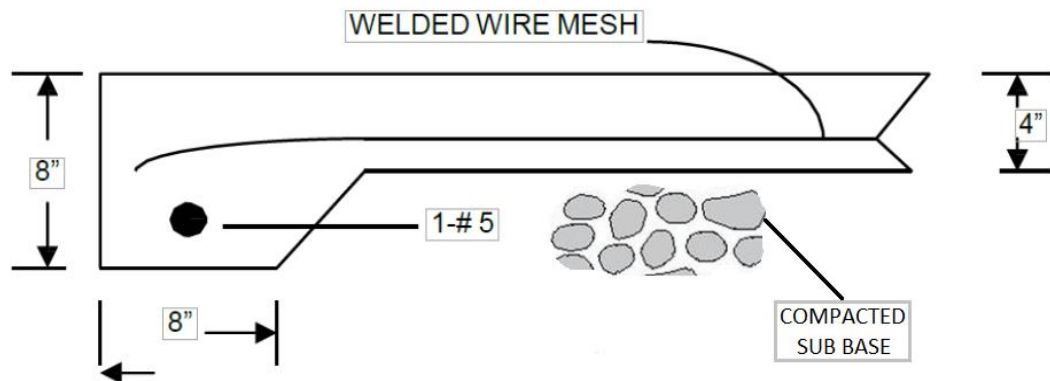
Title: \_\_\_\_\_



## SWIMMING POOL, PATIOS AND SHED SLAB REQUIREMENTS

Florida Building Code Section R4404.3.5 Discontinuous Edges.

The discontinuous edges of all concrete slabs surrounding a Swimming Pool, Screened Patios, Patios, and Sheds shall be a minimum of 8" deep by 8" wide and shall be reinforced with 1 continuous #5 rebar. The Slab shall be reinforced with 6" x 6" #10 wire in the middle of the slab.



### Mandatory Inspections:

An inspection must be requested and passed prior to pouring of concrete.

After completion of work and surrounding areas are repaired a Final Inspection must be requested and approved.

### DRIVEWAYS

#### Minimum Requirements:

Minimum four inches (4") thick

Expansion joint required at existing concrete

Cut control joints at 20' on center maximum

Fiber mesh is not approved unless product approval is submitted and approved with permit.

### Mandatory Inspections:

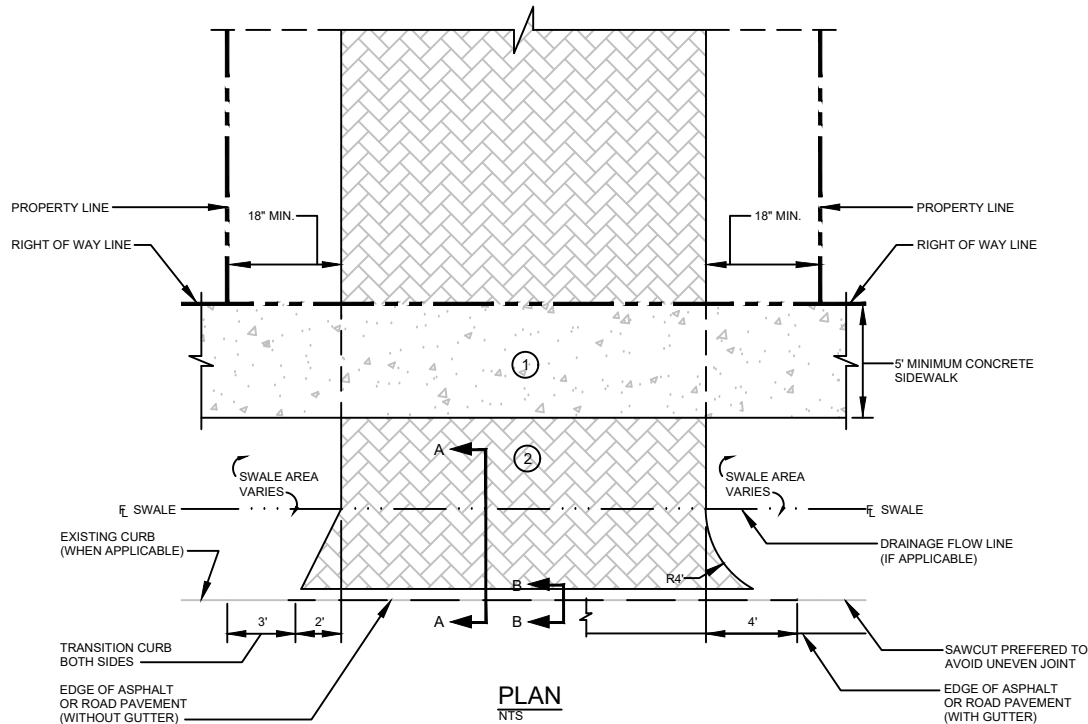
An inspection must be requested and passed prior to pouring of concrete.

After completion of work and surrounding areas are repaired a Final Inspection must be requested and approved.

**\*ALL ASPHALT, CONCRETE AND PAVER DRIVEWAYS SHALL BE INSTALLED OVER A WELL COMPACTED SUB-BASE. FREE FROM ORGANICS, DEBRIS & OTHER DELETERIOUS MATERIALS.\***

**\*ALL DISTURBED AREAS MUST BE RESTORED WITH SOD\***

**NO MODIFICATIONS OR ALTERATIONS CAN BE MADE TO AN EXISTING CURB AND GUTTER ASSEMBLY. THE CURB AND GUTTER MUST BE COMPLETELY REMOVED TO THE NEAREST CONTROL JOINTS AND MUST BE REPLACED IN COMPLIANCE WITH THE APPROVED ENGINEERING DOCUMENTS.**

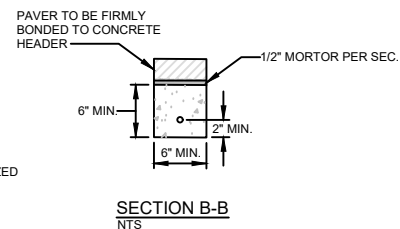
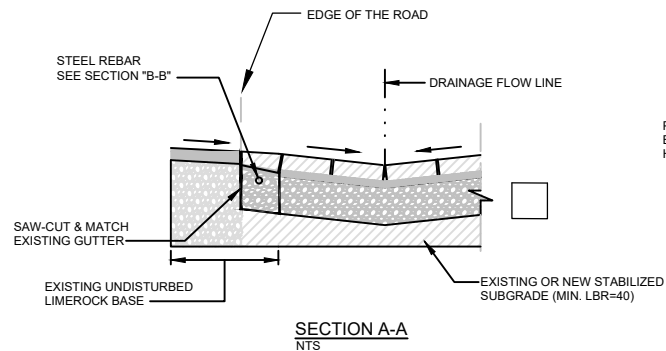


## GENERAL NOTES:

- 2' WIDE FLARE OR OPTIONAL 4' RADIUS
- UTILITY LOCATES SHALL BE CALLED AND DOCUMENTED PRIOR TO FIRST INSPECTION.
- IF NEW DRIVEWAY LIMITS COVER EXISTING SEWER LATERAL:
  - NEW CLEAN-OUT SHALL BE INSTALLED AT THE PROPERTY LINE WITH A NEW TRAFFIC RATED BOX OR
  - EXISTING SEWER LATERAL SHALL BE RELOCATED WITH A NEW CLEAN-OUT INSTALLED AT PROPERTY LINE.
- CONCRETE PAVERS SHALL CONFORM TO ASTM C-936. CLAY PAVERS SHALL HARD-BURNED AND SHALL CONFORM TO ASTM C-902. THE MINIMUM PAVEMENT THICKNESS SHALL BE 3 1/8". DEVIATION FROM STANDARD THICKNESS REQUIRES SHOP DRAWING APPROVAL & ADDITIONAL 6" THICK CONCRETE BASE (MINIMUM 3,000 PSI) REQUIRED.
- BEDDING SAND SHALL BE GRANULAR AND FINELY GRADED. LIMEROCK BASE SHALL BE BROUGHT UP TO GRADE BEFORE BEDDING SAND IS INSTALLED. BEDDING SAND SHALL NOT BE USED TO COMPENSATE FOR AN UNEVEN LIMEROCK BASE. PAVEMENT GRADES SHALL BE SLOPED TO ENSURE PROPER DRAINAGE TO SWALE.
- PAVEMENT JOINTS SHALL BE 1/8" WIDE, WITH A 1/16" TOLERANCE. ALL JOINTS SHALL BE SWEEPED WITH DRY SAND UP TO THE PAVEMENT SURFACE AND COMPACTED WITH A VIBRATORY PLATE COMPACTOR.
- ALL MATERIALS, WORKMANSHIP, AND RESTORATION OF FEATURES IN THE RIGHT-OF-WAY SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER OR INSPECTOR. MATERIAL CERTIFICATIONS, SAMPLES, SHOP DRAWINGS & DENSITY TESTS MAY BE REQUIRED BY CITY INSPECTOR FOR VERIFICATION.

## DRAWING NOTES:

- ALL SIDEWALKS SHALL BE CONSTRUCTED OF TWO THOUSAND FIVE HUNDRED (2,500) PSI CONCRETE NOT LESS THAN FIVE (5) FEET IN WIDTH FOR PUBLIC DEDICATED RIGHTS-OF-WAY AND FOUR (4) FEET FOR PRIVATE RIGHTS-OF-WAY, OR AS SPECIFIED IN EACH TOC DISTRICT, AND HAVING A THICKNESS OF NOT LESS THAN FOUR (4) INCHES. PROVIDED, HOWEVER, THAT ALL SIDEWALKS CROSSING AT VEHICULAR DRIVEWAY SHALL HAVE A THICKNESS OF NOT LESS THAN SIX (6) INCHES.
- ASPHALT, CONCRETE OR PAVEMENT DRIVEWAY TO MATCH SWALE GRADE BETWEEN SIDEWALK AND PAVEMENT.



**\* ALL ASPHALT, CONCRETE AND PAVEMENT DRIVEWAYS SHALL BE INSTALLED OVER A WELL COMPACTED SUB-BASE. FREE FROM ORGANICS, DEBRIS & OTHER DELETERIOUS MATERIALS.\***

**\*ALL DISTURBED AREAS MUST BE RESTORED WITH SOD\***

# STANDARD DRIVEWAY DETAIL ASPHALT / CONCRETE

DRAWN: JWEAVER

DATE: 5-14-20

CITY OF MARGATE, FLORIDA  
DEPARTMENT OF ENVIRONMENTAL  
AND ENGINEERING SERVICES



**NO MODIFICATIONS OR ALTERATIONS CAN BE MADE TO AN EXISTING CURB AND GUTTER ASSEMBLY. THE CURB AND GUTTER MUST BE COMPLETELY REMOVED TO THE NEAREST CONTROL JOINTS AND MUST BE REPLACED IN COMPLIANCE WITH THE APPROVED ENGINEERING DOCUMENTS.**

## GENERAL NOTES:

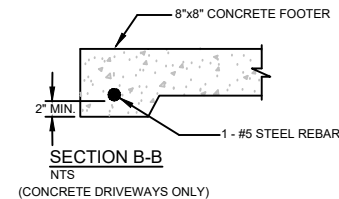
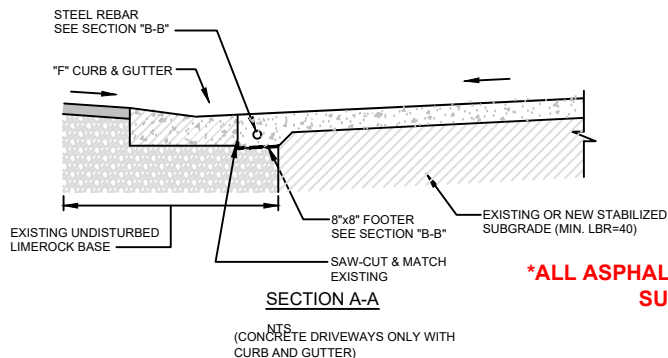
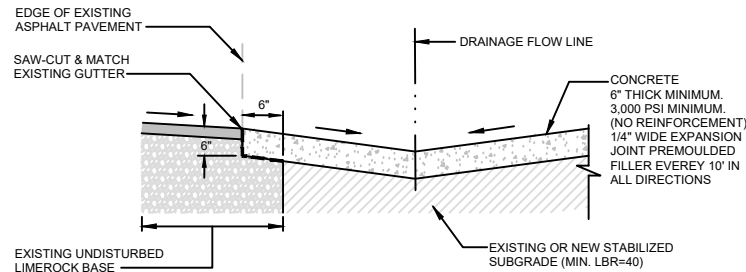
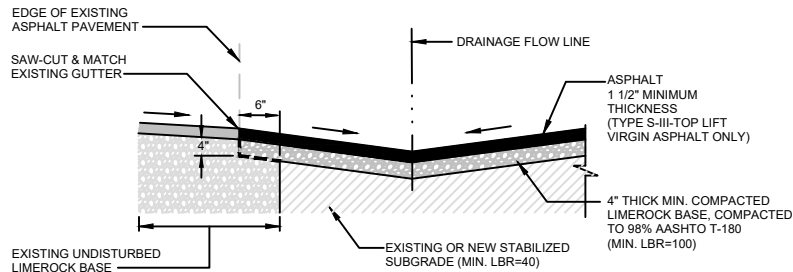
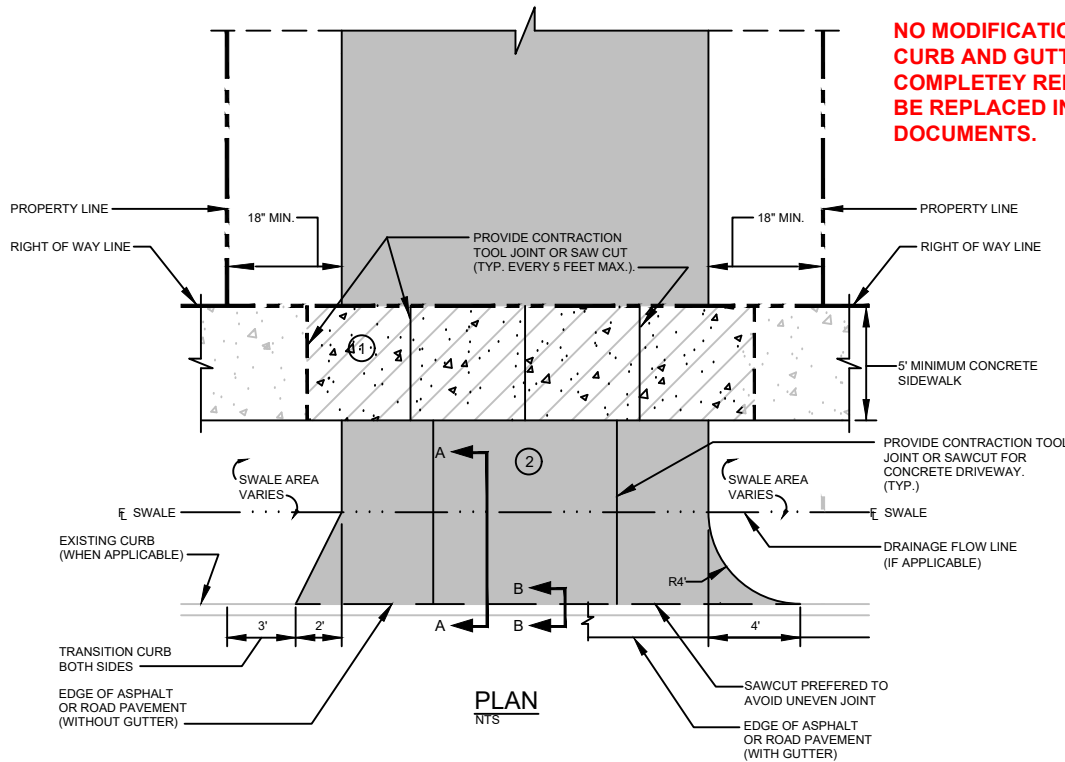
- 2' WIDE FLARE OR OPTIONAL 4' RADIUS
- UTILITY LOCATES SHALL BE CALLED AND DOCUMENTED PRIOR TO FIRST INSPECTION.
- IF NEW DRIVEWAY LIMITS COVER EXISTING SEWER LATERAL:
  - NEW CLEAN-OUT SHALL BE INSTALLED AT THE PROPERTY LINE WITH A NEW TRAFFIC RATED BOX OR
  - EXISTING SEWER LATERAL SHALL BE RELOCATED WITH A NEW CLEAN-OUT INSTALLED AT PROPERTY LINE
- ALL MATERIALS, WORKMANSHIP, AND RESTORATION OF FEATURES IN THE RIGHT-OF-WAY SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER OR INSPECTOR. MATERIAL CERTIFICATIONS, SAMPLES, SHOP DRAWINGS & DENSITY TESTS MAY BE REQUIRED BY CITY INSPECTOR FOR VERIFICATION.

## DRAWING NOTES:

- ALL SIDEWALKS SHALL BE CONSTRUCTED OF TWO THOUSAND FIVE HUNDRED (2,500) PSI CONCRETE NOT LESS THAN FIVE (5) FEET IN WIDTH FOR PUBLIC DEDICATED RIGHTS-OF-WAY AND FOUR (4) FEET FOR PRIVATE RIGHTS-OF-WAY, OR AS SPECIFIED IN EACH TOC DISTRICT, AND HAVING A THICKNESS OF NOT LESS THAN FOUR (4) INCHES. PROVIDED, HOWEVER, THAT ALL SIDEWALKS CROSSING AT VEHICULAR DRIVEWAY SHALL HAVE A THICKNESS OF NOT LESS THAN SIX (6) INCHES.
- ASPHALT, CONCRETE OR PAVER DRIVEWAY TO MATCH SWALE GRADE BETWEEN SIDEWALK AND PAVEMENT.

## DRIVEWAY NOTE:

CONTRACTION JOINTS IN CONCRETE DRIVEWAY SHALL BE NO GREATER THAN 8 FEET APART.



**\*ALL ASPHALT, CONCRETE AND PAVER DRIVEWAYS SHALL BE INSTALLED OVER A WELL COMPACTED SUB-BASE. FREE FROM ORGANICS, DEBRIS & OTHER DELETERIOUS MATERIALS.\***

**\*ALL DISTURBED AREAS MUST BE RESTORED WITH SOD\***

## Section 32.4. - Sidewalks.

All sidewalks shall be constructed of two thousand five hundred (2,500) psi concrete not less than five (5) feet in width for public dedicated rights-of-way and four (4) feet for private rights-of-way, or as specified in each TOC district, and having a thickness of not less than four (4) inches, provided, however, that **all sidewalks crossing a vehicular driveway shall have a thickness of not less than six (6) inches.**

- (1) *Location.* All sidewalks shall be parallel to and extend not less than five (5) feet from the street right-of-way side line into the street right-of-way and parallel to street curbing and pavement.
- (2) *Rough grading.*
  - (a) *Clearing.* Scarify the area where vegetation occurs to a minimum depth of six (6) inches until all vegetation and other unsuitable materials are loosened and removed from the site.
  - (b) *Grade.* To proper elevation for specified minimum thickness of all sidewalks.
  - (c) *Additional fill.* If required shall be clean foundation sand mechanically compacted to achieve a solid grade.
- (3) *Installation of wheelchair ramps.* Wheelchair ramps shall be installed for any new construction of sidewalks and for any repair of sidewalks involving twenty-five (25) feet or more of pavement adjacent to a corner or pedestrian crossing.
  - (a) Wheelchair ramps shall be provided at all intersections where curbs and sidewalks are constructed in order to give handicapped persons and persons in wheelchairs safe access to street crossings. (See Exhibits "A" and "B.")
  - (b) Wheelchair ramps shall be constructed to be in substantial conformance with the Americans with Disabilities Act (ADA Handicapped Code) and the Uniform Federal Accessibility Standards published by the General Services Administration, Department of Housing and Urban Development, Department of Defense, and the United States Postal Service.
- (4) Installation of pedestrian refuges. Pedestrian refuges shall be installed on all rights-of-way that contain a center median. Such refuges shall be a minimum of four (4) feet in width. (See Exhibit "C.")

(Ord. No. 1500.00, § 4.4, 10-25-1967; Ord. No. 1500.199, § 1, 11-19-1980; Ord. No. 1500.420, § 1, 5-20-1992; Ord. No. 1500-546, § 9, 10-15-2008)

**\*ALL ASPHALT, CONCRETE AND PAVER DRIVEWAYS SHALL BE INSTALLED  
OVER A WELL COMPACTED SUB-BASE. FREE FROM ORGANICS, DEBRIS  
AND OTHER DELETERIOUS MATERIALS.\***

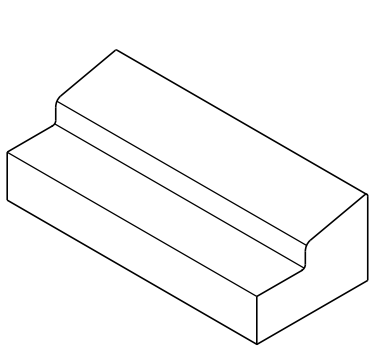
**\*ALL DISTURBED AREAS MUST BE RESTORED WITH SOD\***

GENERAL NOTES:

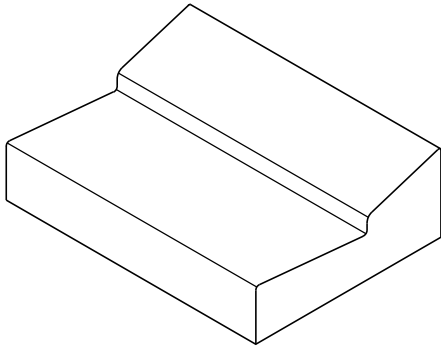
- 1. For curb, gutter and curb & gutter provide 1/8" - 1/4" contraction joints at 10' centers (max.). Contraction joints adjacent to concrete pavement on tangents and flat curves are to match the pavement joints, with intermediate joints not to exceed 10' centers.
- 2. Locate expansion joints for curb, gutter and curb & gutter in accordance with Specification 520.

TABLE OF CONTENTS:	
Sheet	Description
1	General Notes and Contents
2	Concrete Curb and Gutter
3	Curb and Gutter Joints and Endings, Concrete Bumper Guard, and Asphaltic Concrete Curb

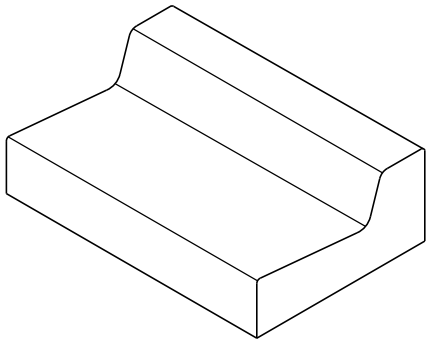
NO MODIFICATIONS OR ALTERATIONS CAN BE MADE TO AN EXISTING CURB AND GUTTER ASSEMBLY. THE CURB & GUTTER MUST BE COMPLETELY REMOVED TO THE NEAREST CONTROL JOINTS AND MUST BE REPLACED IN COMPLIANCE WITH THE APPROVED ENGINEERING DOCUMENTS.



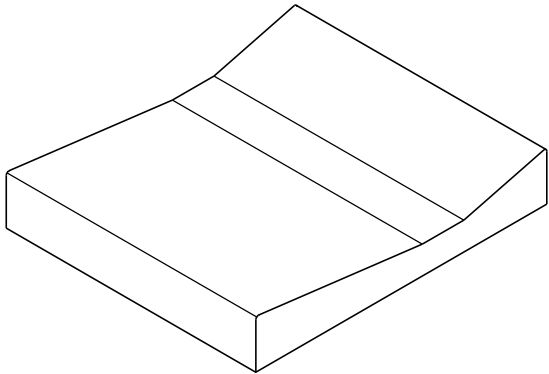
TYPE A



TYPE E

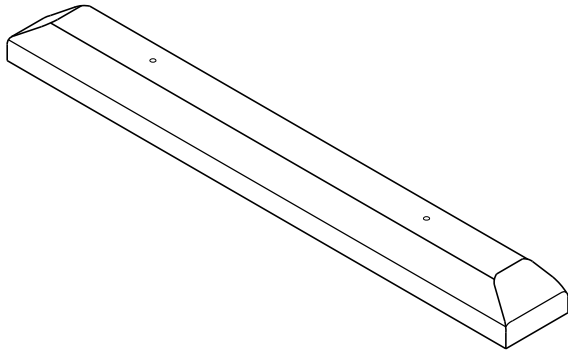


TYPE F



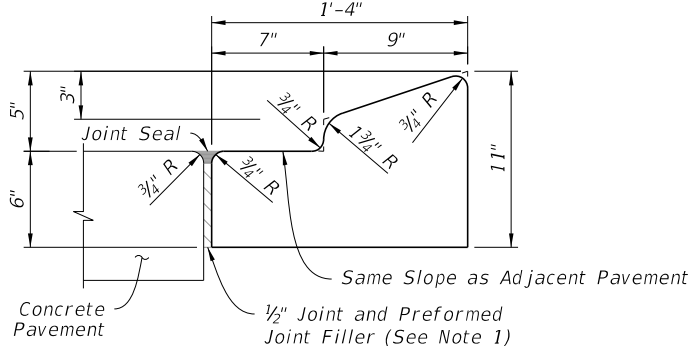
SHOULDER GUTTER

===== TYPE A, TYPE E, TYPE F, AND SHOULDER GUTTER =====  
(Other Types Similar)



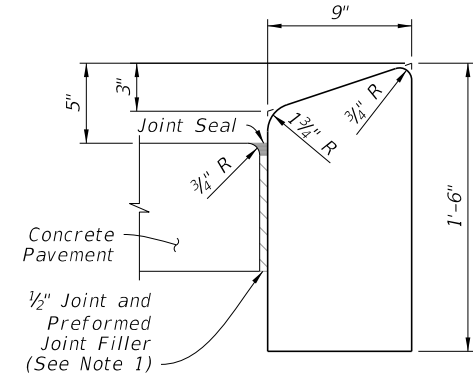
===== CONCRETE BUMPER GUARD =====

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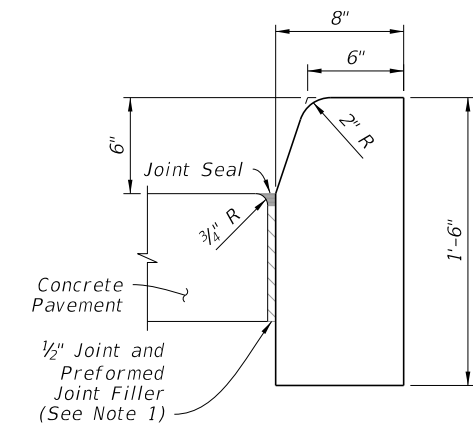
NOTE: For use adjacent to concrete or flexible pavement, concrete shown (See Note 4).

TYPE A



NOTE: For use adjacent to concrete or flexible pavement, concrete shown.

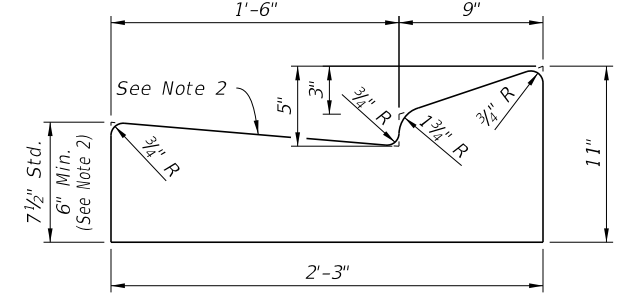
TYPE B



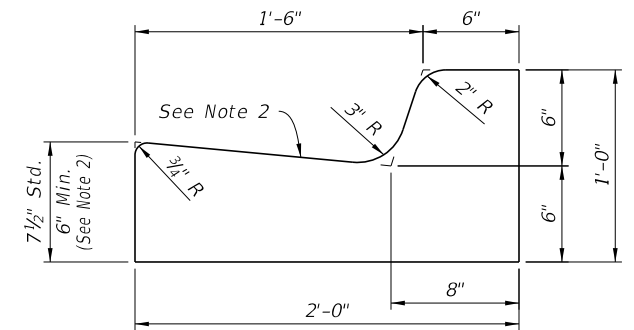
NOTE: For use adjacent to concrete or flexible pavement, concrete shown.

TYPE D

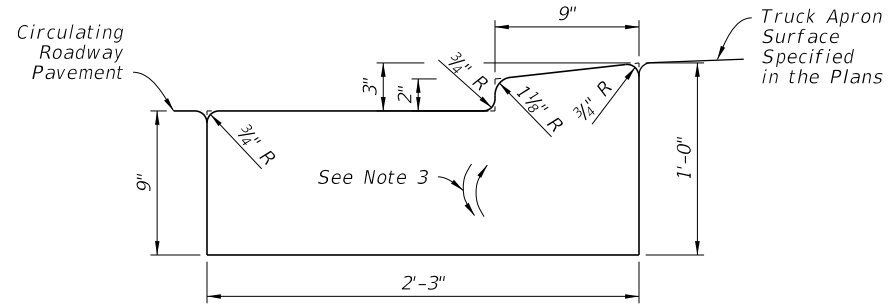
- NOTES:**
1. For Type A, Type B, and Type D Curb: Expansion joint, preformed joint filler and joint seal are required between curbs and concrete pavement only, see Sheet 3.
  2. For Type E, Type F, Drop Curb, and Valley Gutter: When used on high side of roadways, match the cross slope of the gutter to the cross slope of the adjacent pavement. The thickness of the lip is 6", unless otherwise shown on Plans.
  3. For Type RA, rotate entire section so that gutter cross slope matches slope of adjacent circulating roadway pavement.
  4. For details depicting usage of Type A Curb adjacent to flexible pavement see Sheet 3.



TYPE E

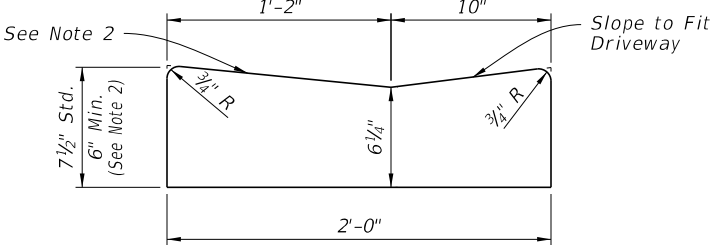


TYPE F

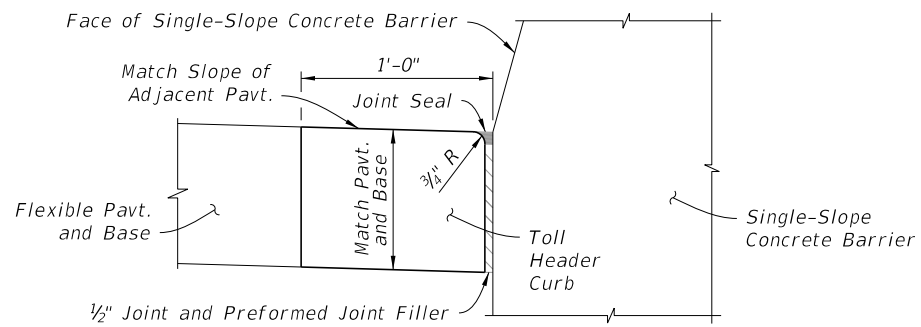


NOTE: Traffic Bearing Sections for use in Roundabout Central Island Construction.

TYPE RA

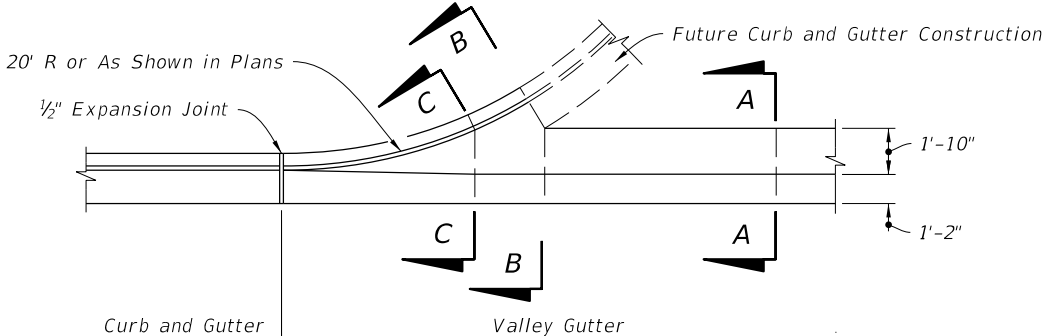


DROP CURB

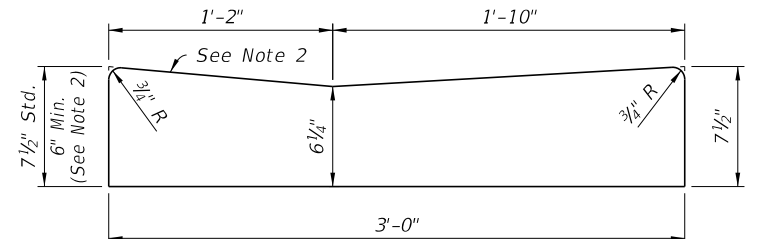


NOTE: See the toll site details for conduit requirements.

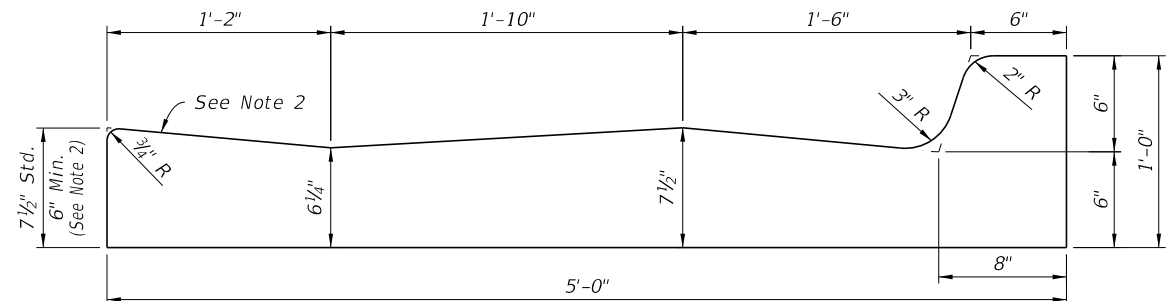
TOLL HEADER CURB



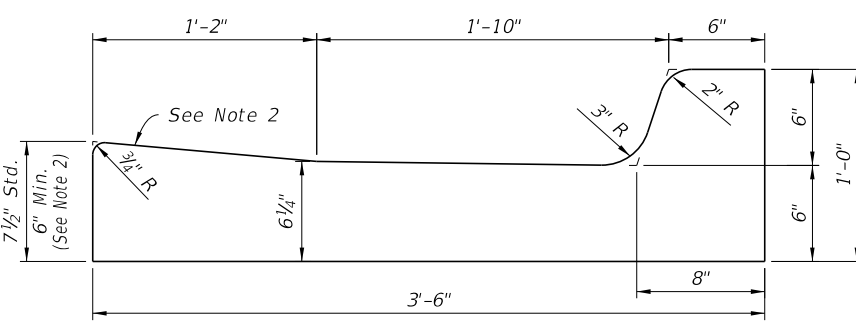
PLAN VIEW



SECTION A-A

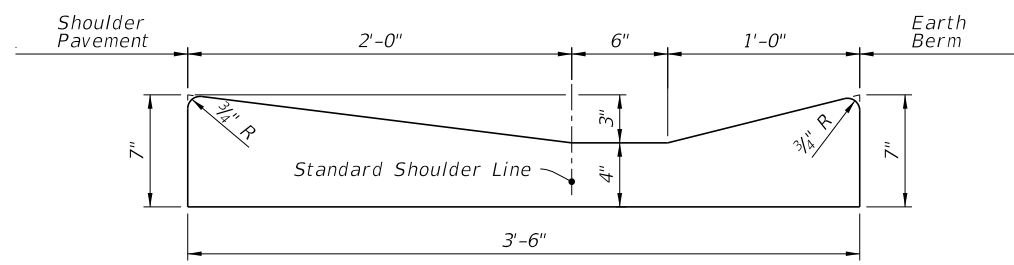


SECTION B-B



SECTION C-C

VALLEY GUTTER



SHOULDER GUTTER

CONCRETE CURB AND GUTTER



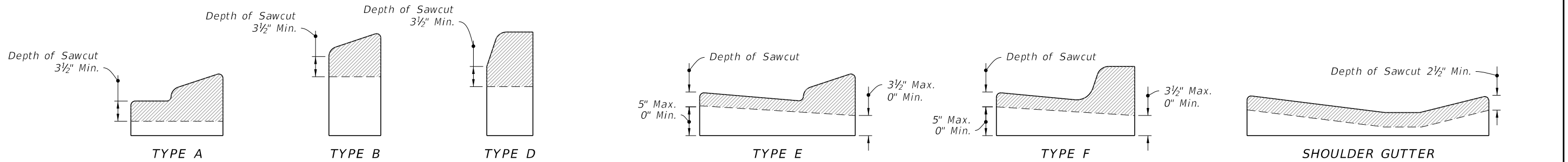
FY 2022-23  
STANDARD PLANS

CURB AND GUTTER

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SHEET  
2 of 3

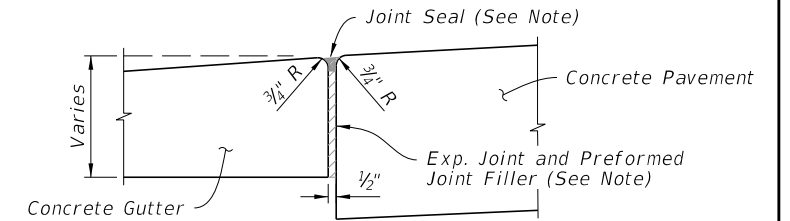
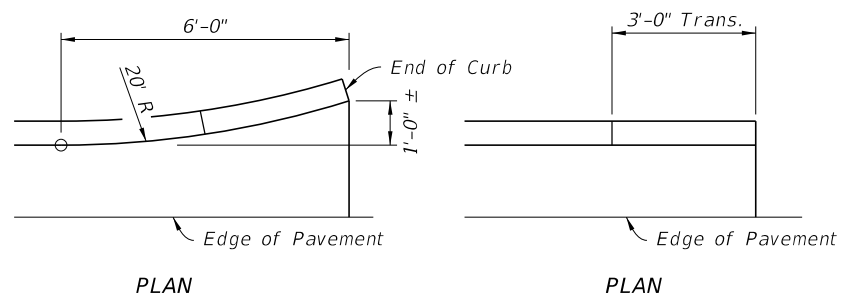
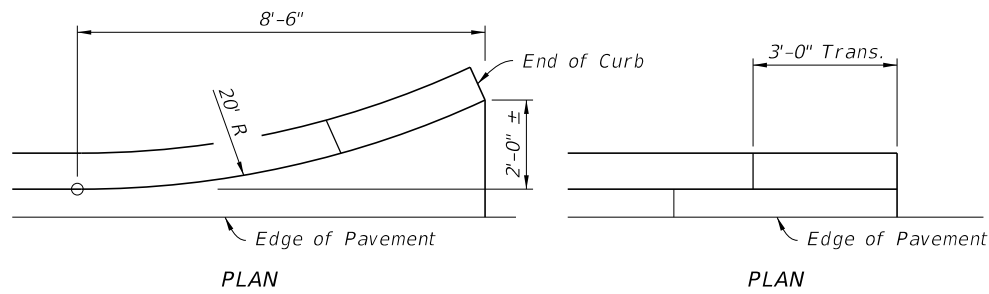




NOTE: Sawcuts should be avoided within valley gutter and within curb and gutter endings.

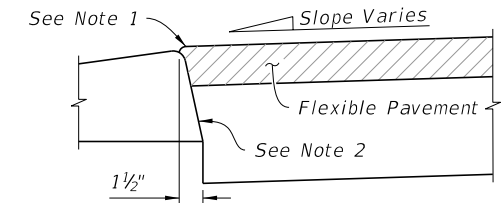
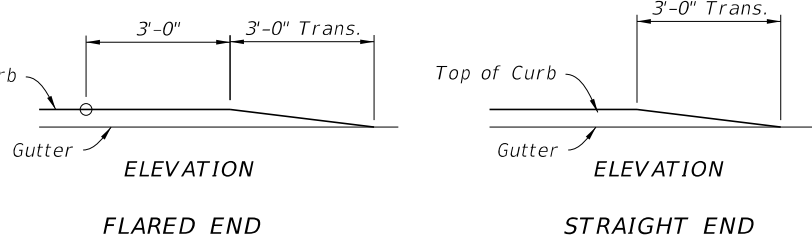
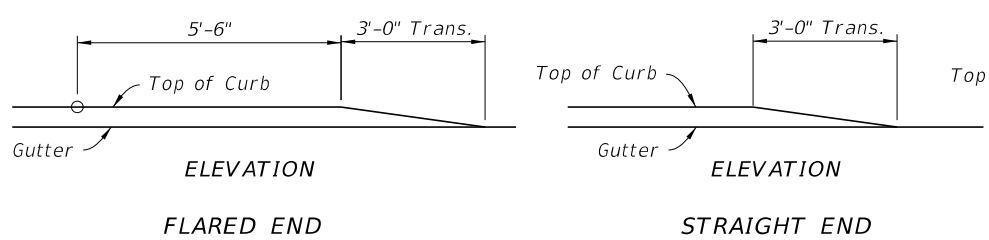
### CONTRACTION JOINTS IN CURB

### CONTRACTION JOINTS IN CURB & GUTTER



NOTE: Joint Seal application applies to both high and low sides of pavement, low side shown.

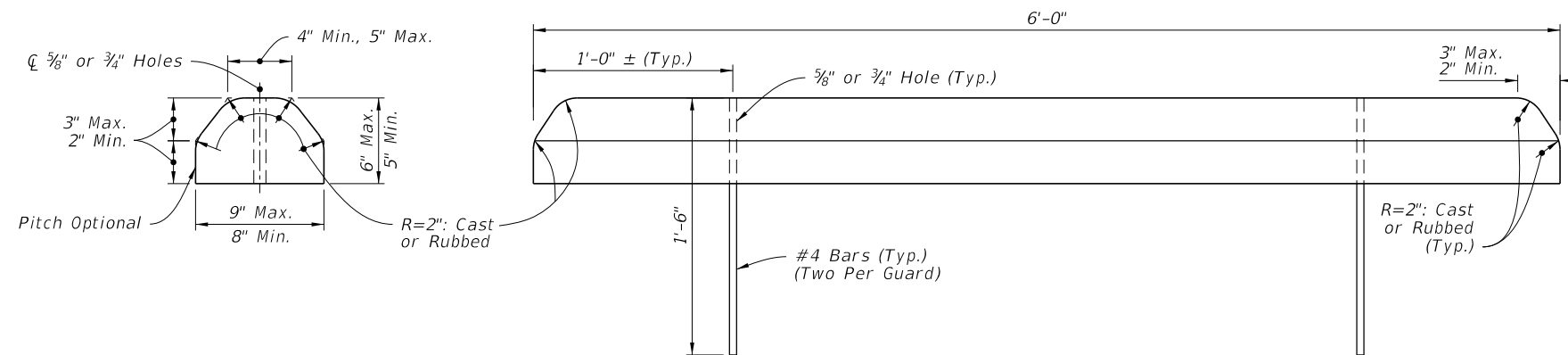
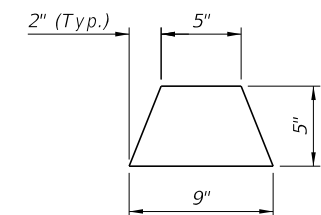
### EXPANSION JOINT BETWEEN GUTTER AND CONCRETE PAVEMENT



#### NOTES:

1. Surface on Low Side of Pavement to be  $\frac{1}{4}$ " Above Lip of Gutter. Surface on High Side to be Flush With Lip of Curb or Curb & Gutter.
2. Applies to both high and low sides of pavement, low side shown. Applies to shoulder gutter only where adjoining traffic lanes.

### CURB AND GUTTER AND TYPE A CURB ADJACENT TO FLEXIBLE PAVEMENT



### CONCRETE BUMPER GUARD

### ASPHALTIC CONCRETE CURB

## CURB AND GUTTER JOINTS AND ENDINGS, CONCRETE BUMPER GUARD, AND ASPHALTIC CONCRETE CURB



FY 2022-23  
STANDARD PLANS

CURB AND GUTTER

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520-001

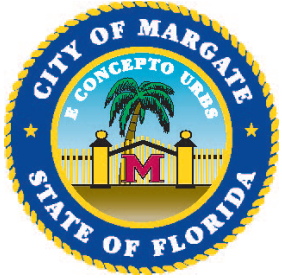
SHEET  
3 of 3

LAST  
REVISION  
11/01/21

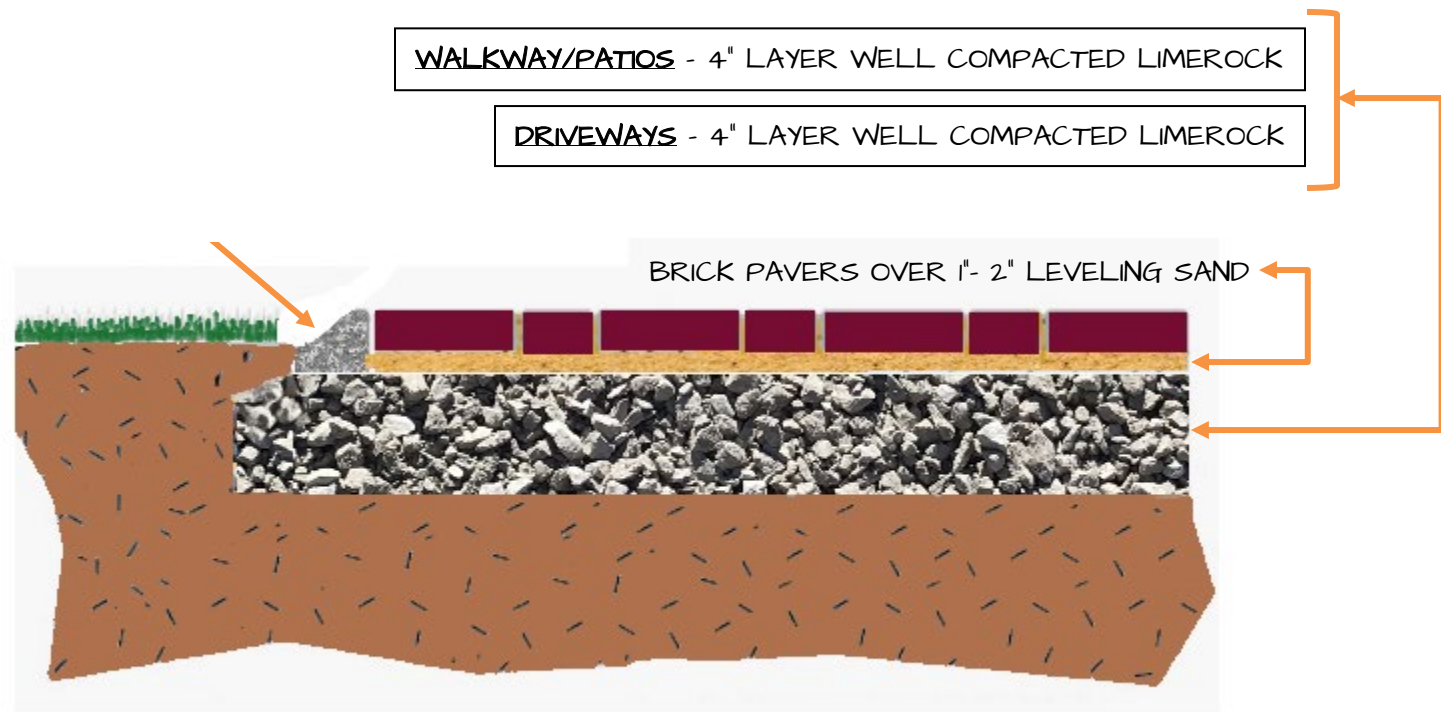
DESCRIPTION:

REVISION

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## BRICK PAVER DETAIL



## BRICK PAVER DETAIL

**PLEASE NOTE: TWO (2) REQUIRED INSPECTIONS:**

**1) COMPACTED SUB-BASE**

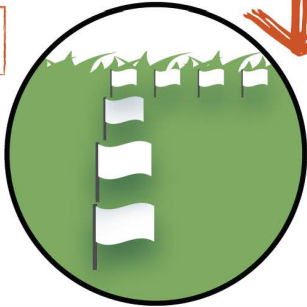
**2) FINAL:  
EDGES BACKFILLED, ALL DEBRIS REMOVED & ALL DISTURBED  
AREAS RESTORED WITH SOD.**

Building and Code Services – 901 NW 66<sup>th</sup> Avenue, Margate, FL 33063 • P 954.970.3004 F 954.970.3412 E [building@margatefl.com](mailto:building@margatefl.com)



## Start Here

1



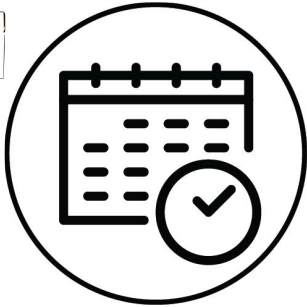
Excavation is planned. White lining your proposed dig site with white paint, flags or stakes is recommended, but required when a member utility cannot understand the locate description.

2



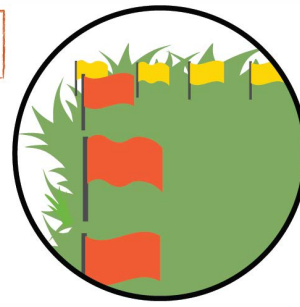
Contact Sunshine 811 at 811 or [sunshine811.com](http://sunshine811.com) to request a ticket. A ticket is valid 30 calendar days.

3



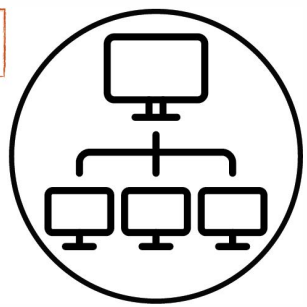
Wait for member utilities to clear or mark the dig site. They have up to two full business days for dig sites on dry land and 10 full business days when the dig site is underwater. The wait time does not include weekends and holidays.

4



Member utilities send their locators to mark underground facilities within the required time. Sunshine 811 does NOT mark underground facilities.

5



Each member utility responds to your ticket using a positive response code that indicates Clear or No Conflict, Marked, or Unmarked. Both Marked and Unmarked codes may have instructions requiring your response.

6



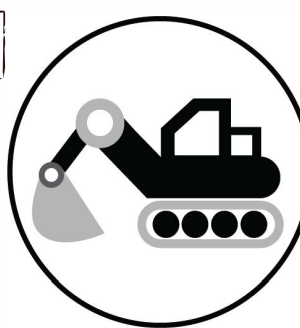
Check the member's positive responses throughout the required timeframe to follow their progress. This also gives you time to respond to any instructions before the required wait time expires.

7



All members have responded, and you have completed the tasks requested. At the dig site, pull up the member's positive responses once again before you put the shovel in the ground. Compare the positive response codes to what you see at the dig site. If they don't match, contact the member utility for clarification. Note: Using Exactix to access the positive responses gives you the most accurate information. Create your account today at [sunshine811.com](http://sunshine811.com).

8



Once it's safe to dig, remember the marks are approximate and you must dig carefully near them. The underground facility's tolerance zone is 24 inches from the outer edges of a buried facility. Protect the locate marks throughout the project and request another ticket if the marks become faded or destroyed.

Member companies do not locate private facilities. Here are some examples of private facilities: water, sewer/septic, or irrigation systems; or landscape lighting; electricity to pools, detached garages, sheds/barns, data cables, invisible dog fences; or propane or natural gas run to grills or pool heaters, etc.



# SECURE THIS JOB

**DURING A HURRICANE WATCH  
& BEFORE THE ONSET OF HURRICANE VELOCITY WINDS  
YOU ARE REQUIRED TO **SECURE THIS JOB****

**IN ACCORDANCE WITH THE BOARD COUNTY ADMINISTRATIVE PROVISIONS  
OF THE FLORIDA BUILDING CODE SECTION 110.13**

**All loose objects  
in exposed outdoor locations  
shall be lashed to rigid construction  
or shall be stored in buildings.**

**Florida Building Code Broward County Administrative Provisions  
Section 110.13.2**

**NOTICES ISSUED BY THE NATIONAL WEATHER SERVICE OF A HURRICANE WATCH ARE DEEMED SUFFICIENT NOTICE  
TO THE OWNER OF REAL PROPERTY UPON WHICH CONSTRUCTION IS OCCURRING, OR ANY CONTRACTOR  
RESPONSIBLE FOR SAID CONSTRUCTION, TO SECURE LOOSE CONSTRUCTION DEBRIS AND LOOSE CONSTRUCTION  
MATERIALS AGAINST EFFECTS OF HURRICANE FORCE WINDS.**

**THIS INCLUDES BUT IS NOT LIMITED TO:**

<b>110.13.2.1 Road Right-of-Way shall remain clear of construction waste and trash</b>	
<b>110.13.2.2 Construction Waste and Trash Contained</b>	<b>110.13.2.3 Construction Materials; Loose Construction Debris; Roofing Tile &amp; Materials; Temporary Electric Service Poles; Temporary Toilets and Temporary Construction Trailer</b>
<b>AND PROTECT ALL GLASS AREAS</b>	